

Whistlers Avenue, SW11



SPENCER GILES
PROPERTY







A fantastic 4 bedroom, 2 bathroom freehold house within the ever popular Morgans Walk development. The property is one of the larger style houses within Morgans Walk, extending over 3 storeys to around 1,465 square feet, with the potential to extend further into the loft having recently become an option (subject to the usual permissions). The property benefits from a South facing garden of over 275 square feet as well as parking on the driveway with the integral garage having been converted to a home gym.

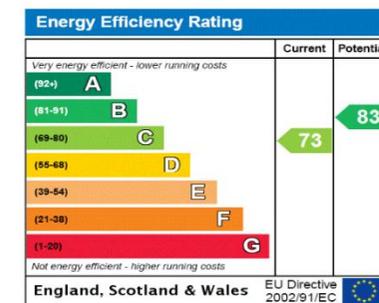
Morgans Walk occupies 9 acres of prime riverside land in a superb position by Battersea Bridge. The low-density development and attractive communal garden areas combine to create an oasis of unusual tranquillity for such a central London location. Battersea Park with its 200 acres of open spaces and excellent leisure facilities lies just over 500 metres away and just across the river there is access to the tube network at South Kensington & Sloane Square stations.

*Please note that while the dimensions of all rooms and photographs remain unedited, a digital furniture package has been added to some shots

- 4 Bedrooms, 2 Bathrooms
- Off Street Parking
- 1,465 Square Feet
- South Facing Garden
- Moments From Chelsea
- Excellent Battersea Park Location

£1,250,000 Guide Price

Tenure: Freehold



Whistlers Avenue, SW11

Approximate gross internal area

135.44 sq m / 1458 sq ft

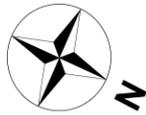
(Including Garage & Excluding Bin Store)

Bin Store

0.65 sq m / 7 sq ft

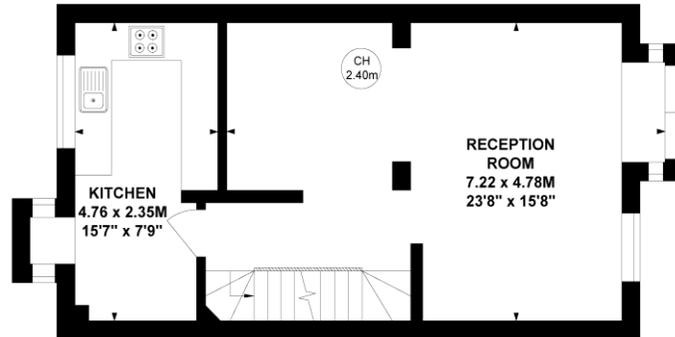
Garage

15.09 sq m / 162 sq ft

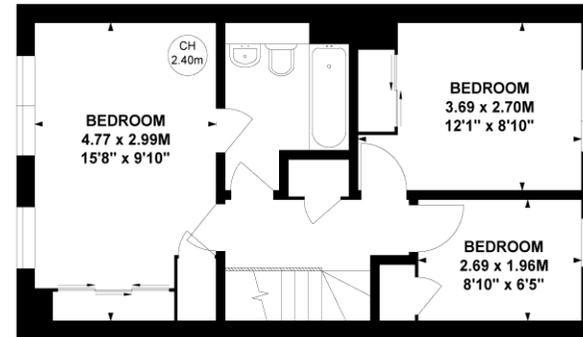


Key :

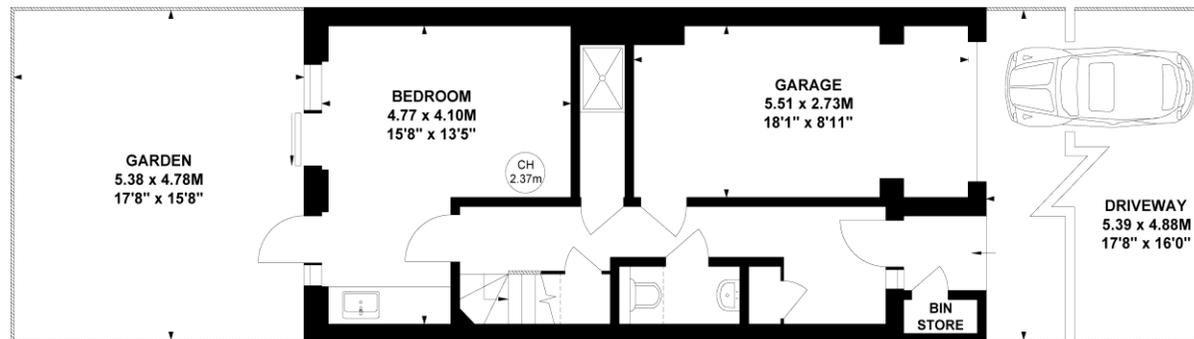
CH - Ceiling Height



First Floor



Second Floor



Ground Floor

Not to scale, for guidance only and must not be relied upon as a statement of fact.

All measurements and areas are approximate only

Spencer Giles Property Ltd for themselves and for the vendor of this property whose agents they are give notice that (i) these particulars do not constitute any part of an offer or contract, (ii) all statements contained within these particulars are made without the responsibility on the part of Spencer Giles Property or the vendor, (iii) whilst made in good faith none of the statements contained within these particulars are to be relied upon as a statement or representation of fact, (iv) any intending purchasers must satisfy themselves by inspection or otherwise as to the correctness of each of the statements contained within these particulars, (v) the vendor does not make or give either Spencer Giles Property Ltd or any person in their employment any authority to make or give representation or warranty whatsoever in relation to this property. Wide angle lenses may be used. ©Spencer Giles Property Ltd. Registered Office Penhurst House, 352-356 Battersea Park Road, London SW11 3BH